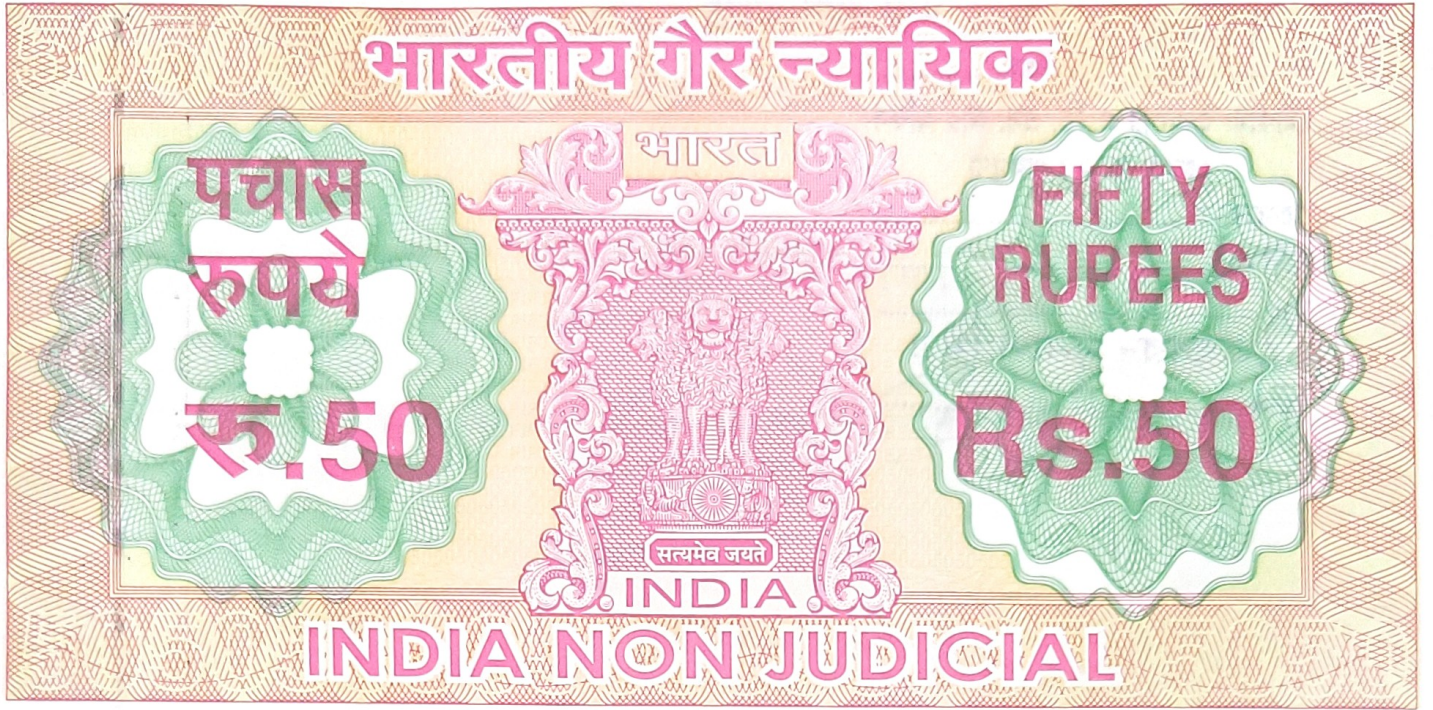


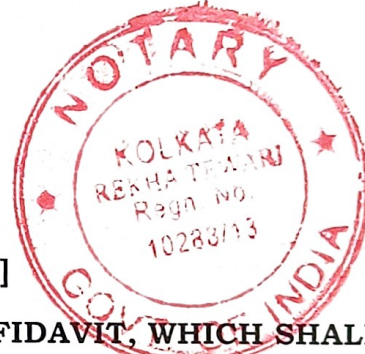


পশ্চিমবঙ্গ পশ্চিম বঙ্গাল WEST BENGAL

AL 318252

FORM B

[See rule 3(4)]



DECLARATION, SUPPORTED BY AN AFFIDAVIT, WHICH SHALL BE SIGNED BY THE PROMOTER OR ANY PERSON AUTHORIZED BY THE PROMOTER

Affidavit cum Declaration

Affidavit cum Declaration of Souvik Banerjee Authorized Signatory of the promoter of the proposed project;

I, Souvik Banerjee, son of Shyamal Banerjee, residing at 21/2 S. N. Chatterjee Road, P.O: Behala, P.S: Behala, District: South 24 Parganas, Kolkata: 700038 being the Designated Partner of "**PROPERTYMARK SDSS REALTORS LLP**", having its registered office at Unit No. 626, "HMP House", Sixth Floor, 4, Fairley Place, P.O: G.P.O., P.S: Hare Street, Kolkata: 700001 do hereby declare that **PROPERTYMARK SDSS REALTORS LLP** is the promoter of the project, i.e., "**MARK**" constructed at Plot No: **11, Muktodhara-I** under R.S. Dag No: 261, 262, 263, 264 & 268, R.S. Khatiyon No: corresponding to L.R. Dag No: 281, 282, 283, 284


REKHA TEWARI
NOTARY
Regn. No.- 10288/13
C.M.M's Court
Kolkata - 700 001



25 AUG 2025



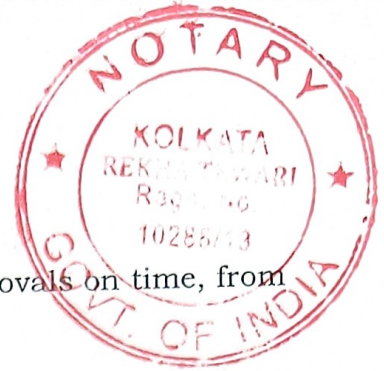
& 288, L.R. Khatiyon No: 9655 Mouza: Bankra, J.L. No 55, P.O: Bankra, P.S: Domjur, in the District of Howrah, PIN: 711403 do hereby solemnly declare, undertake and state as under:

1. That **PROPERTYMARK SDSS REALTORS LLP** has the lease hold right from Kolkata Metropolitan Development Authority through Kolkata West International City Private limited over the land on which the development of the proposed project is to be carried out and a legally valid authentication of title of such land is enclosed herewith.
2. That the said land is free from all encumbrances.
3. That the time period within which the project shall be completed by the promoter is 13th August, 2030.
4. That seventy per cent of the amounts realized by the promoter for the real estate project from the allottees, from time to time, shall be deposited in a separate account to be maintained in a schedule bank to cover the cost of construction and the land cost and shall be used only for that purpose.
5. That the amounts from the separate account, to cover the cost of the project, shall be withdrawn in proportion to the percentage of completion of the project.
6. That the amounts from the separate account shall be withdrawn after it is certified by an engineer, an architect and a chartered accountant in practice that the withdrawal is in proportion to the percentage of completion of the project.
7. That the promoter shall get the accounts audited within six months after the end of every financial year by a chartered accountant in practice, and shall produce a statement of accounts duly certified and signed by such chartered accountant and it shall be verified during the audit that the amounts collected for a particular project have been utilized for the project and the withdrawal has been in compliance with the proportion to the percentage of completion of the project.

REKHA TEWARI
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Regn. No. - 10268/13
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[Signature]

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8. That the promoter shall take all the pending approvals on time, from the competent authorities.
9. That the promoter has furnished such other documents as have been prescribed by the rules and regulations made under the Act.
10. That the promoter shall not discriminate against any allottee at the time of allotment of any apartment, plot or building as the case may be, on any grounds.

PROPERTY MARK SDSS REALTORS LLP
[Signature]
Designated Partner

Deponent

Verification

The contents of my above Affidavit cum Declaration are true and correct and nothing material has been concealed by me therefrom.

Verified by me at Kolkata on this 23rd day of August, 2025.

Deponent

Identified by me

Advocate

Signature Only
Identified by me
Narayan Ch. Saha
Advocate
C.M. Court, Kolkata-1
Enrollment No. WB/305/1989

SOLEMNL AFFIRMED AND DECLARED
BEFORE ME ON IDENTIFICATION

[Signature]
REKHA TEWARI
NOTARY

REKHA TEWARI
NOTARY
Regn. No. - 10288/13
C.M.M' s. Court
Kolkata - 700 001

25 AUG 2025